

PROPOSED SECOND DWELLING
48 SECOND AVENUE, CAMPSIE

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A105	ROOF PLAN
A106	ELEVATIONS
A107	SECTIONS
A108	LANDSCAPE PLAN
A109	SCHEDULE OF FINISHES
A110	3D VIEW PLAN



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THE BUILDING WORKS INCLUDED IN THE SUBJECT WITH COMPLY WITH THE RELEVANT DEEMED- TO SATISFY PROVISIONS OF THE BUILDING CODE OF AUSTRALIA NCC 2022 AND RELEVANT STANDARDS OF CONSTRUCTION. PARTICULAR REFERENCE IS MADE TO THE FOLLOWING BCA PROVISIONS AND AUSTRALIAN STANDARDS, WHICH FORM PART OF THE APPLICATION AND WILL BE COMPLIED WITH:-

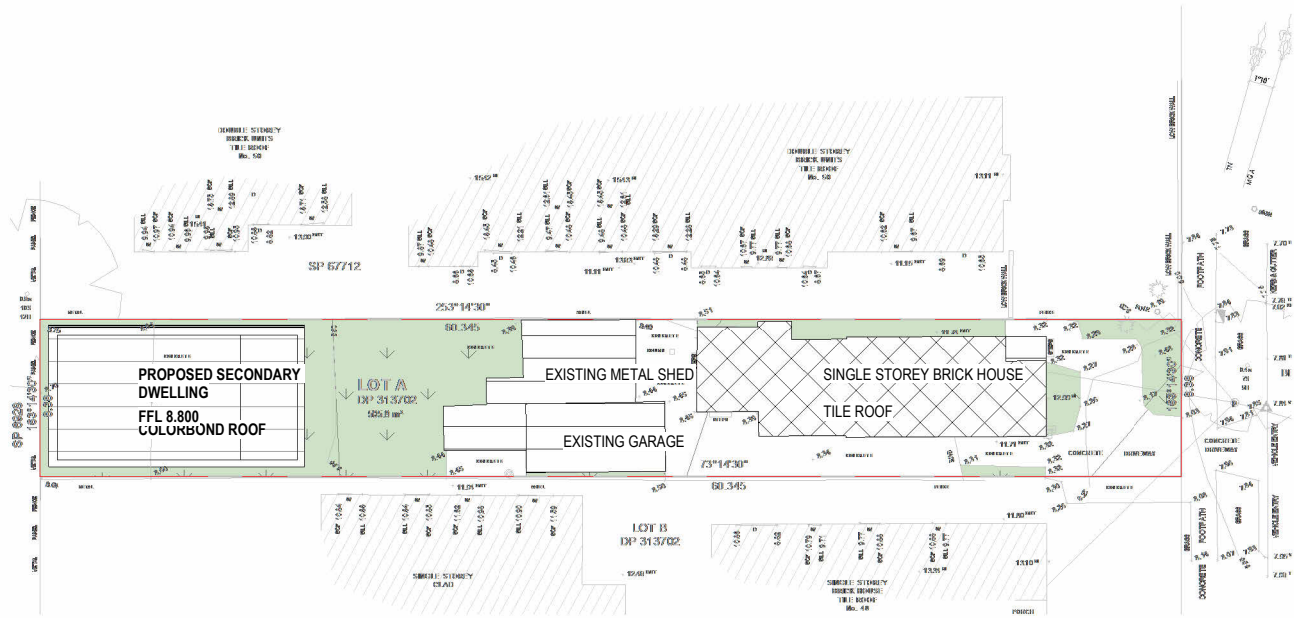
PART H1 - STRUCTURE		
1.1	H1D3 SITE PREPARATION MUST COMPLY WITH - 1. EARTHWORKS - PART 3.2 OF THE ABCB HOUSING PROVISIONS 2. RETAINING STRUCTURE - AS4678 3. TERMITE MANAGEMENT - PART 3.4 OF THE ABCB HOUSING PROVISIONS	
1.2	H1D4 FOOTINGS AND SLABS MUST COMPLY WITH - 1. AS2870 OR AS3600 2. SECTION 4 OF THE ABCB HOUSING PROVISIONS - SEE H1D4 (2)	
1.3	H1D5 MASONRY MUST COMPLY WITH, FOR MASONRY VENEER - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.2 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS. MUST COMPLY WITH, FOR CAVITY BRICK UNREINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.3 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR SINGLE LEAF UNREINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.4 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR REINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; MUST COMPLY WITH, FOR AN ISOLATED MASONRY PIER SYSTEM - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.5 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR AN ISOLATED MASONRY ACCESSORIES - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.6 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS	
1.4	H1D6 FRAMING MUST COMPLY WITH, FOR TIMBER FRAMES - 1. DESIGN OF TIMBER STRUCTURES: AS 1720.1. 2. DESIGN OF NAIL PLATED TIMBER ROOF TRUSSES: AS 1720.5. 3. RESIDENTIAL TIMBER-FRAMED CONSTRUCTION – NON-CYCLONIC AREAS: AS 1684.2 OR AS 1684.4. 4. RESIDENTIAL TIMBER-FRAMED CONSTRUCTION – CYCLONIC AREAS: AS 1684.3. 5. INSTALLATION OF PARTICLEBOARD FLOORING: AS 1860.2. MUST COMPLY WITH, FOR STEEL FRAMES - RESIDENTIAL AND LOW-RISE STEEL FRAMING: 1. DESIGN: NASH STANDARD 'RESIDENTIAL AND LOW-RISE STEEL FRAMING' 2. DESIGN SOLUTIONS: NASH STANDARD 'RESIDENTIAL AND LOW-RISE STEEL 3. STEEL STRUCTURES: AS 4100. 4. COLD-FORMED STEEL STRUCTURES: AS/NZS 4600.	PART 1. FRAMING' PART
1.5	H1D7 ROOF AND WALL CLADDING MUST COMPLY WITH, FOR SHEET ROOFING - 1. METAL ROOFING- AS1562.1; AND IN WIND REGIONS C AND D IN ACCORDANCE 2.2.3 IN SECTION 2 OF THE ABCB HOUSING PROVISIONS 2. PLASTIC SHEET ROOFING: AS 1562.3.(B) 3. METAL SHEET ROOFING: PART 7.2 OF THE ABCB HOUSING PROVISIONS MUST COMPLY WITH, FOR ROOF CLADDING - 1. TERRACOTTA, FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES: AS 4597. 2. FOR ROOF TILES - AS 2050; OR PART 7.3 OF THE ABCB HOUSING PROVISIONS	WITH FIGURE SUBJECT TO
1.6	CONDITIONS MUST COMPLY WITH, FOR WALL CLADDING - 1. TIMBER AND COMPOSITE WALL CLADDING AS5146 OR PART 7.5 OF THE ABCB HOUSING PROVISIONS 2. METAL WALL CLADDING AS1562.1 H1D8 GLAZING MUST COMPLY WITH - 1. DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS2047 AND PART 8.2 OF THE ABCB HOUSING PROVISIONS FOR: • SLIDING AND SWINGING GLAZED DOORS WITH A FRAME, INCLUDING FRENCH AND BI-FOLD DOORS WITH A FRAME • ADJUSTABLE LOUVRES • WINDOW WALLS WITH ONE-PIECE FRAMING	
1.7	2. AS1288 FOR ANYTHING NOT COVERED IN THE ABOVE POINT H1D9 EARTHQUAKE AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 OF THE ABCB HOUSING PROVISIONS	
1.8	H1D10 FLOOD HAZARD AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS	
1.9	H1D11 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING	
PLATE		
1.10	MUST COMPLY WITH PART 12.3 OF THE ABCB HOUSING PROVISIONS SUBJECT TO CONDITIONS H1D12 PILED FOOTINGS MUST COMPLY WITH AS2159	

PART H2 - DAMP AND WEATHERPROOFING	
2.1	H2D2 DRAINAGE MUST COMPLY WITH - 1. AS3500.3 OR 2. PART 3.3 OF THE ABCB HOUSING PROVISIONS SUBJECT TO CONDITIONS
2.2	H2D3 FOOTINGS AND SLABS AS PER H1D4
2.3	H2D4 MASONRY MUST COMPLY WITH, FOR WEATHERPROOFING OF MASONRY - 1. AS3700 2. AS4773.1 AND AS 4773.2 3. PART 5.7 OF THE ABCB HOUSING PROVISIONS PROVIDED MASONRY WALLS ARE CONSTRUCTED IN ACCORDANCE WITH H1D5 AND(C)THE REQUIREMENTS OF PART 5.7
2.4	H2D5 SUBFLOOR VENTILATION MUST COMPLY WITH PART 6.2 OF THE ABCB HOUSING PROVISIONS. NOTE - PART 6.2 APPLIES TO THE SUBFLOOR SPACE OF ALL SUSPENDED FLOORS OF A BUILDING OR DECK, INCLUDING BUT NOT LIMITED TO, TIMBER AND STEEL-FRAMED SUBFLOORS AND SUSPENDED CONCRETE SLABS.
2.5	H2D6 ROOF AND WALL CLADDING MUST COMPLY WITH, FOR GUTTERS AND DOWNPIPES - 1. AS3500.3 2. PART 7.4 OF THE ABCB HOUSING PROVISION - MAY ONLY BE USED PROVIDED THE ROOF DRAINAGE SYSTEM IS CONNECTED TO A STORMWATER DRAINAGE SYSTEM THAT COMPLIES WITH H2D2; AND EXCLUDES BOX GUTTERS. NOTE - THE REQUIREMENTS DO NOT APPLY TO THE REMOVAL OF SURFACE WATER FROM A STORM HAVING AN ANNUAL EXCEEDANCE PROBABILITY OF 1% FOR A CLASS 10 BUILDING WHERE IN THE PARTICULAR CASE THERE IS NO NECESSITY FOR COMPLIANCE.
2.6	H2D7 GLAZING AS PER H1D8
2.7	H2D8 EXTERNAL WATERPROOFING MUST COMPLY WITH - 1. MEMBRANES USED IN THE EXTERNAL WATERPROOFING SYSTEM COMPLY WITH AS 4654.1; AND 2. THE DESIGN AND INSTALLATION OF THE EXTERNAL WATERPROOFING SYSTEM IS IN ACCORDANCE WITH AS 4654.2. THE ABOVE REQUIREMENTS APPLY TO— 1. ROOFING SYSTEMS OTHER THAN THOSE COMPLYING WITH H1D7(2) AND (3); AND 2. TERRACES, BALCONIES AND THE LIKE OTHER THAN— • A CONCRETE SLAB THAT HAS A MINIMUM STEP-DOWN OF 50 MM BELOW THE INTERNAL FLOOR LEVEL; OR • A SUSPENDED CONCRETE SLAB— • WHERE THE SUBFLOOR SPACE IS NOT USED FOR HABITABLE OR NON-HABITABLE PURPOSES; AND • THAT HAS A MINIMUM STEP-DOWN OF 50 MM BELOW THE INTERNAL FLOOR LEVEL; OR • SPACED DECKING IN CONJUNCTION WITH FRAMING MEMBERS THAT ARE SUITABLE FOR EXTERNAL USE.
3	PART H3 - FIRE SAFETY
3.1	H3D2 FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS MUST COMPLY WITH, FOR WHERE NON-COMBUSTIBLE BUILDING ELEMENTS ARE REQUIRED - 1. PLASTERBOARD. 2. PERFORATED GYPSUM LATH WITH A NORMAL PAPER FINISH. 3. FIBROUS-PLASTER SHEET. 4. FIBRE-REINFORCED CEMENT SHEETING. 5. PRE-FINISHED METAL SHEETING HAVING A COMBUSTIBLE SURFACE FINISH NOT EXCEEDING 1 MM THICK AND WHERE THE SPREAD-(E)OF-FLAME INDEX OF THE PRODUCT IS NOT MORE THAN 0. 6. SARKING-TYPE MATERIALS THAT DO NOT EXCEED 1 MM IN THICKNESS AND HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5. 7. BONDED LAMINATED MATERIALS WHERE — • EACH LAMINA, INCLUDING ANY CORE, IS NON-COMBUSTIBLE; AND • EACH ADHESIVE LAYER DOES NOT EXCEED 1 MM IN THICKNESS AND THE TOTAL THICKNESS OF THE ADHESIVE LAYERS DOES • NOT EXCEED 2 MM; AND • THE SPREAD-OF-FLAME INDEX AND THE SMOKE-DEVELOPED INDEX OF THE BONDED LAMINATED MATERIAL AS A WHOLE • DO NOT EXCEED 0 AND 3 RESPECTIVELY.
3.2	H3D3 FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH PART 9.2 OF THE ABCB HOUSING PROVISIONS
3.3	H3D4 FIRE PROTECTION OF SEPARATING WALLS AND FLOORS MUST COMPLY WITH PART 9.3 OF THE ABCB HOUSING PROVISIONS
3.4	H3D5 FIRE SEPARATION OF GARAGE-TOP-DWELLINGS MUST COMPLY WITH PART 9.4 OF THE ABCB HOUSING PROVISIONS
3.5	H3D6 SMOKE ALARMS AND EVACUATION LIGHTING MUST COMPLY WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS FOR A CLASS 1 BUILDING. NOTE - A CLASS 1 BUILDING INCLUDES A CLASS 10A PRIVATE GARAGE LOCATED ABOVE OR BELOW THE CLASS 1 BUILDING.
PART H4 - HEALTH AND AMENITY	
4.1	H4D2 WET AREAS MUST COMPLY WITH - 1. AS3740 OR 2. PART 10.2 OF THE ABCB HOUSING PROVISIONS
4.2	H4D3 MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS MUST COMPLY WITH - 1. BUILDING ELEMENTS IN WET AREAS ARE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH CLAUSES 10.2.1 TO 10.2.6 OF(A)THE ABCB HOUSING PROVISIONS; AND 2. THEY COMPLY WITH EITHER - • AS 3740 AND CLAUSE 10.2.12 OF THE ABCB HOUSING PROVISIONS; OR • 10.2.7 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS.
4.3	H4D4 ROOM HEIGHTS MUST COMPLY WITH PART 10.3 OF THE ABCB HOUSING PROVISIONS
4.4	H4D5 FACILITIES MUST COMPLY WITH PART 10.4 OF THE ABCB HOUSING PROVISIONS 4.5 H4D6 LIGHT MUST COMPLY WITH PART 10.5 OF THE ABCB HOUSING PROVISIONS 4.6 H4D7 VENTILATION MUST COMPLY WITH PART 10.6 OF THE ABCB HOUSING PROVISIONS EXCEPT - FOR AN EXHAUST FAN FROM A SANITARY COMPARTMENT, LAUNDRY, KITCHEN OR BATHROOM, PERFORMANCE REQUIREMENT H4P5 IS SATISFIED FOR A MECHANICAL VENTILATION SYSTEM IF IT IS INSTALLED IN ACCORDANCE WITH AS 1668.2.
4.7	H4D8 SOUND INSULATION MUST COMPLY WITH PART 10.7 OF THE ABCB HOUSING PROVISIONS 4.8 H4D9 CONDENSATION MANAGEMENT MUST COMPLY WITH PART 10.8 OF THE ABCB HOUSING PROVISIONS

PART H5 - SAFE MOVEMENT AND ACCESS	
5	H5D2 STAIRWAY AND RAMP CONSTRUCTION MUST COMPLY WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS 5.2 H5D3 BARRIERS AND HANDRAILS MUST COMPLY WITH PART 11.3 OF THE ABCB HOUSING PROVISIONS
6	PART H6 - ENERGY EFFICIENCY
6.1	H6D2 APPLICATION OF PART H6 MUST COMPLY WITH PARTS 13.2, 13.4 AND 13.7 OF THE ABCB HOUSING PROVISIONS
7	PART H7 - ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS
7.1	H7D2 SWIMMING POOLS MUST COMPLY WITH - 1. AS 1926.1 AND AS 1926.2; OR 2. IF THE SWIMMING POOL IS A SPA POOL— • THE REQUIREMENTS OF THE ABOVE; OR • CLAUSE 9 OF THE SWIMMING POOLS REGULATION 2018. NOTE - OUT-OF-GROUND POOL WALLS AND THE WALLS OF ABOVE GROUND POOLS, INCLUDING INFLATABLE POOLS, NOT BEING CONSIDERED TO BE EFFECTIVE BARRIERS; AND • THE REFERENCE IN CLAUSE 2.3.1 OF AS 1926.1 TO A BARRIER WITHIN A PROPERTY INCLUDING A BOUNDARY BARRIER.
7.2	H7D3 CONSTRUCTION IN ALPINE AREAS MUST COMPLY WITH PART 12.2 OF THE ABCB HOUSING PROVISIONS 7.3 H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS MUST COMPLY WITH, FOR CLASS 1 AND 10A STRUCTURES - (A) AS 3959 EXCEPT — (I)AS AMENDED BY PLANNING FOR BUSH FIRE PROTECTION; AND (II)FOR SECTION 9 CONSTRUCTION REQUIREMENTS FOR BUSHFIRE ATTACK LEVEL FZ (BAL-FZ); OR (B) NASH STANDARD – STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS EXCEPT — (I)AS AMENDED BY PLANNING FOR BUSH FIRE PROTECTION; AND (II)FOR BUILDINGS SUBJECT TO BUSHFIRE ATTACK LEVEL FZ (BAL-FZ); OR (C) (A) OR (B) AS MODIFIED BY DEVELOPMENT CONSENT FOLLOWING CONSULTATION WITH THE NSW RURAL FIRE SERVICE UNDER SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 IF REQUIRED; OR (D) (A) OR (B) AS MODIFIED BY DEVELOPMENT CONSENT WITH A BUSHFIRE SAFETY AUTHORITY ISSUED UNDER SECTION 100B OF THE RURAL FIRES ACT 1997 FOR THE PURPOSES OF INTEGRATED DEVELOPMENT.
7.4	H7D5 HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES MUST COMPLY WITH - 1. FOR A DOMESTIC SOLID FUEL BURNING APPLIANCE, AS/NZS 2918; OR 2. FOR A HEATING APPLIANCE, PART 12.4 OF THE ABCB HOUSING PROVISIONS.
8	PART H8 - LIVABLE HOUSING DESIGN
8.1	H8D2 LIVABLE HOUSING DESIGN PART H8 DOES NOT APPLY IN NSW ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS: •AS 1288 -GLASS IN BUILDINGS –SELECTION AND INSTALLATION. •AS 1562 -DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING •AS 1684 -RESIDENTIAL TIMBER FRAMED CONSTRUCTION •AS 1926.1-2012 -POOL AND SPA CODE •AS 2047 -INSTALLATION AND SELECTION OF WINDOWS •AS 2049 -ROOF TILES & AS 2050 -FIXING OF ROOF TILES •AS 2870 -RESIDENTIAL SLABS AND FOOTINGS. •AS 2904 -DAMP PROOF COURSES AND FLASHINGS •AS 3500 -PLUMBING & DRAINAGE •AS 3600 -CONCRETE STRUCTURES •AS 3660 -PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES. •AS 3700 -MASONRY IN BUILDINGS. •AS 3740 -WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS •AS 3959 -CONSTRUCTION IN A BUSHFIRE PRONE AREA •AS 3786 -SMOKE ALARMS •AS 4100 -STEEL STRUCTURES

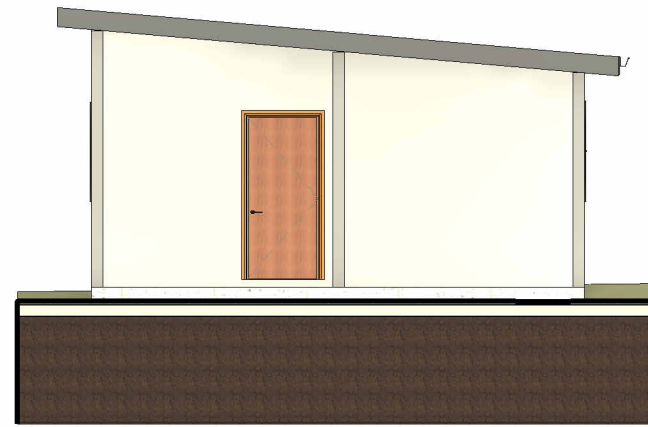
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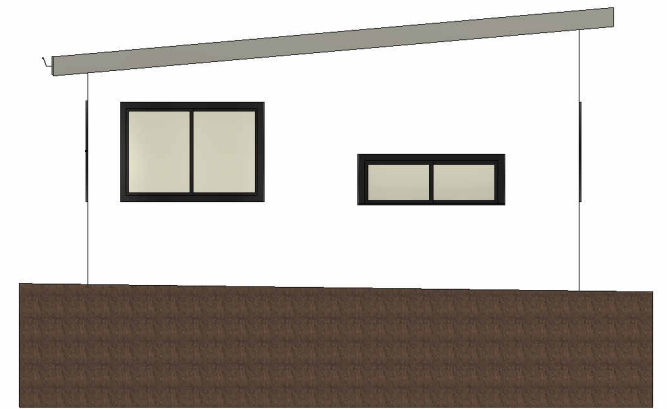
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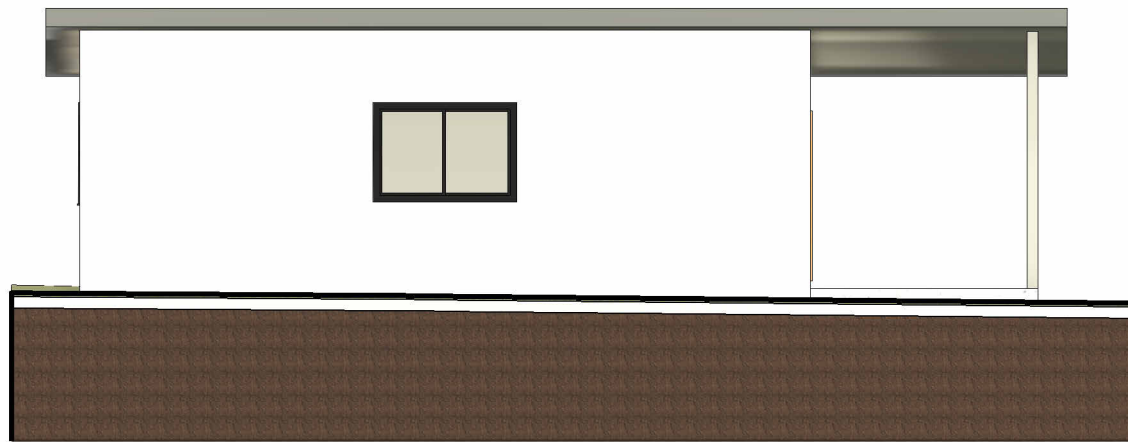
2 EAST ELEVATION - NOTIF. PLAN

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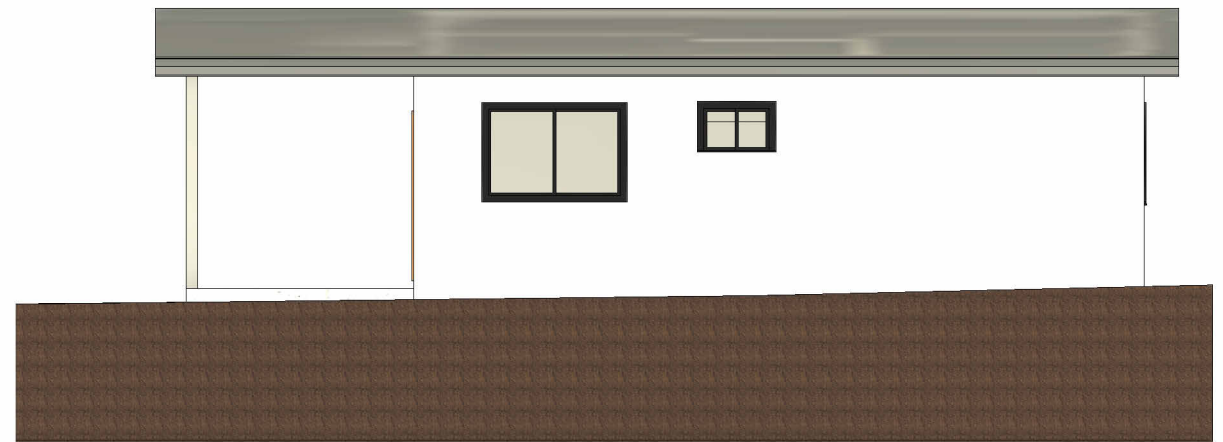
5 WEST ELEVATION - NOTIF. PLAN

1 : 100



4 SOUTH ELEVATION - NOTIF. PLAN

1 : 100



3 NORTH ELEVATION - NOTIF. PLAN

1 : 100



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48 SECOND AVENUE, CAMPSIE

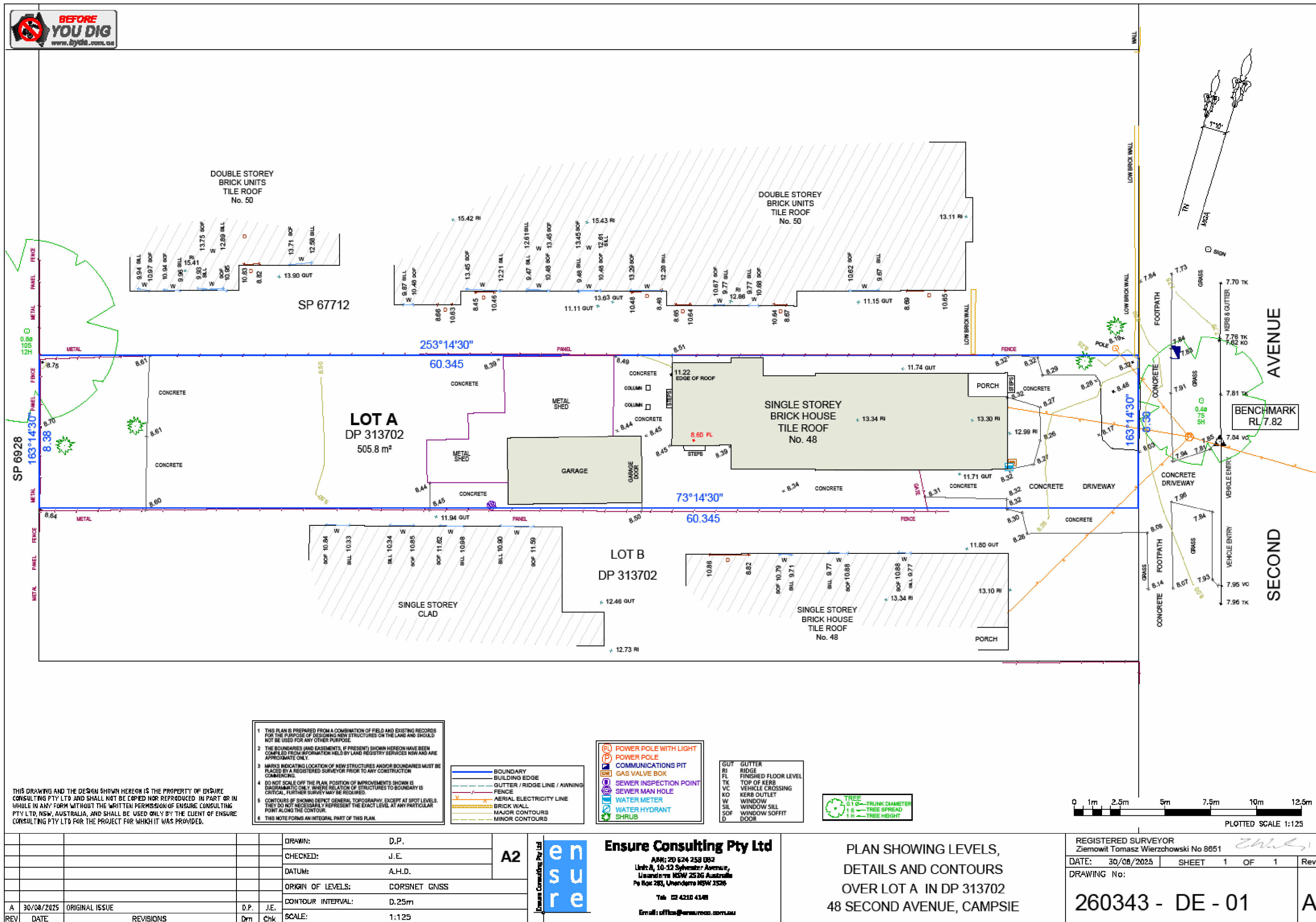
PROPOSED SECOND DWELLING

Owner	
DESIGNED BY:	H.H

NOTIFICATION PLAN

PROJECT NUMBER	Project Number	A101.1
DATE	Issue Date	
CHECKED BY	A.E	ISSUE: A
DRAWN BY	H.H	SCALE As indicated







	PREVAILING WINDS		NOISE -> CAR NOISE ONLY
	VIEW - NOT APPLICABLE		VEHICULAR SITE ENTRY
	EXISTING TREE ON THE SUBJECT SITE TO BE RETAINED		CONTOURS
	EXISTING TREE ON THE SUBJECT SITE TO BE REMOVED		BOUNDARY
	EXISTING TREE ON THE SUBJECT SITE TO BE REPLACED		1.8m PALING FENCE
			NATURAL CROSS VENTILATION
			PROPOSED RESIDENTIAL DWELLING
	NEIGHBOURHOOD WINDOWS FACING SITE		

[illegible]

Window Schedule

W02	1800	1200
W03	900	600
W04	1800	1200
W05	1800	600
W08	1800	1200

Door Schedule

D01	1020	2210
D03	720	2100
D04	820	2100
D05	820	2100



1 : 100

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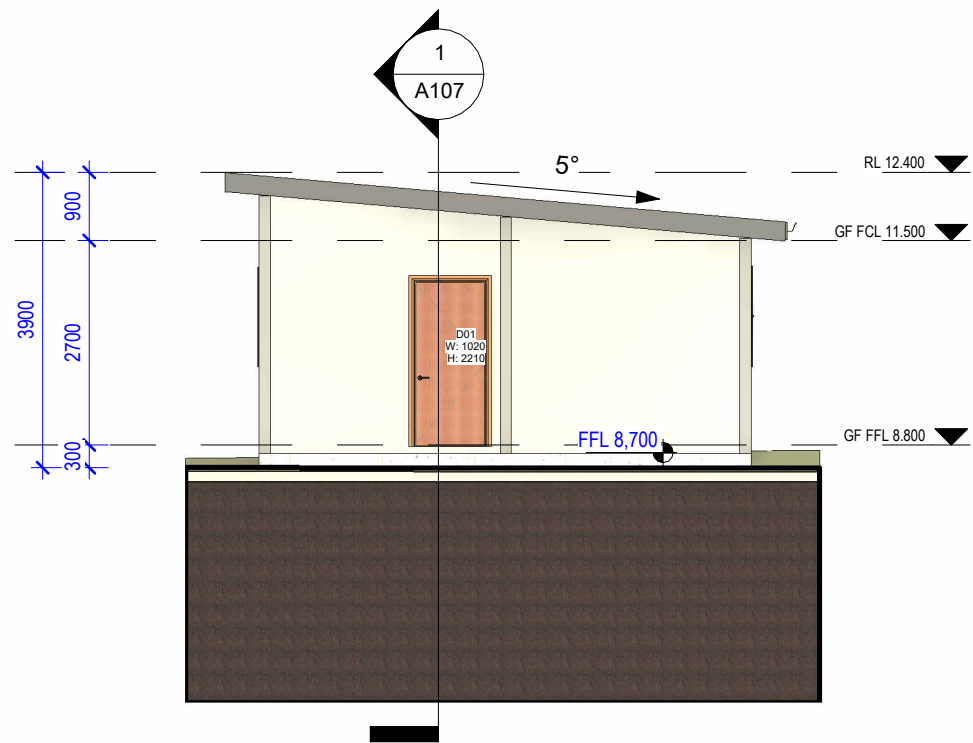
PROPOSED SECOND DWELLING

Owner	
DESIGNED BY:	H.H

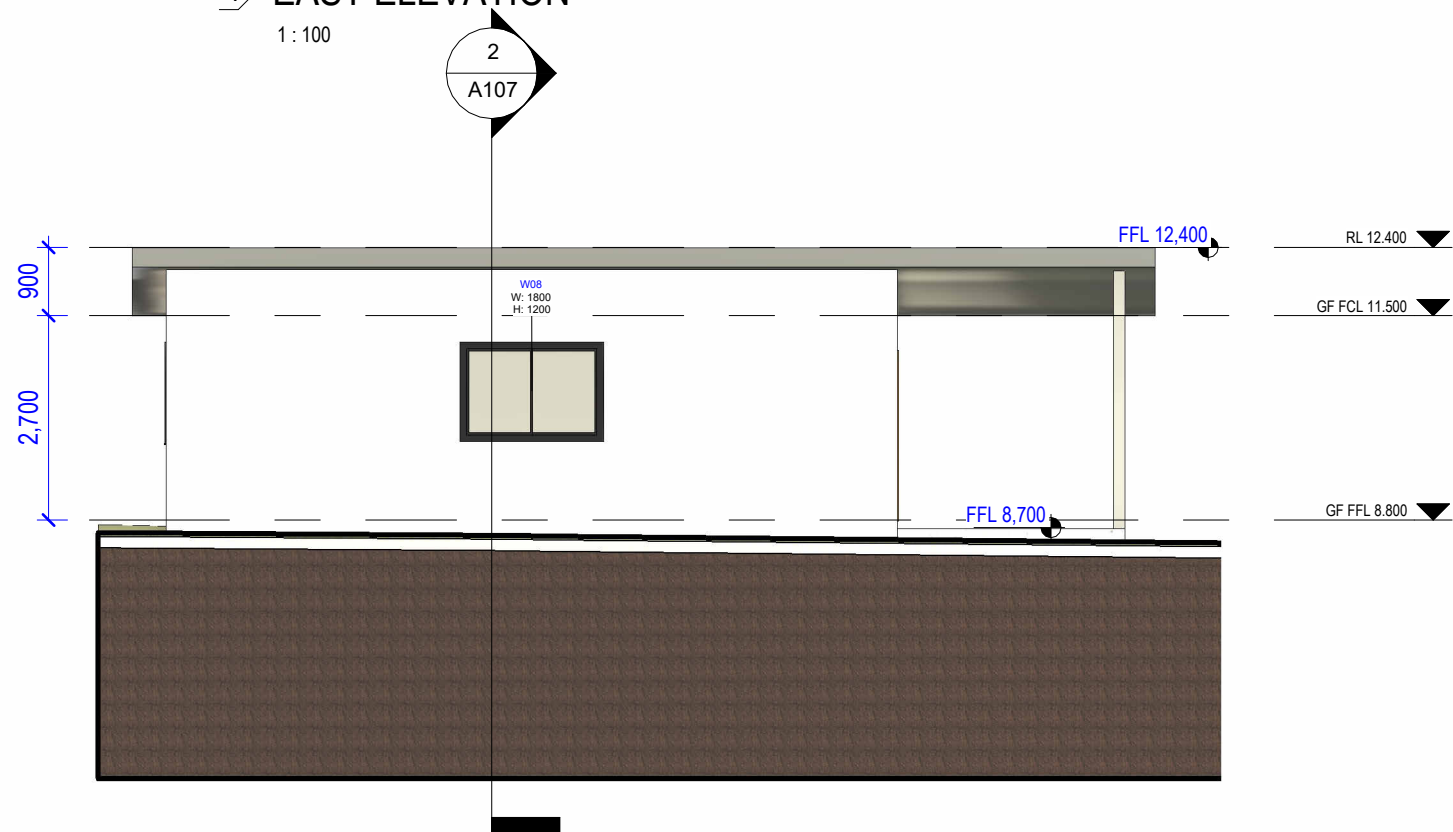
GROUND FLOOR PLAN

PROJECT NUMBER	Project Number	A104	
DATE	Issue Date		
CHECKED BY	A.E	ISSUE:	A
DRAWN BY	H.H	SCALE	1 : 100

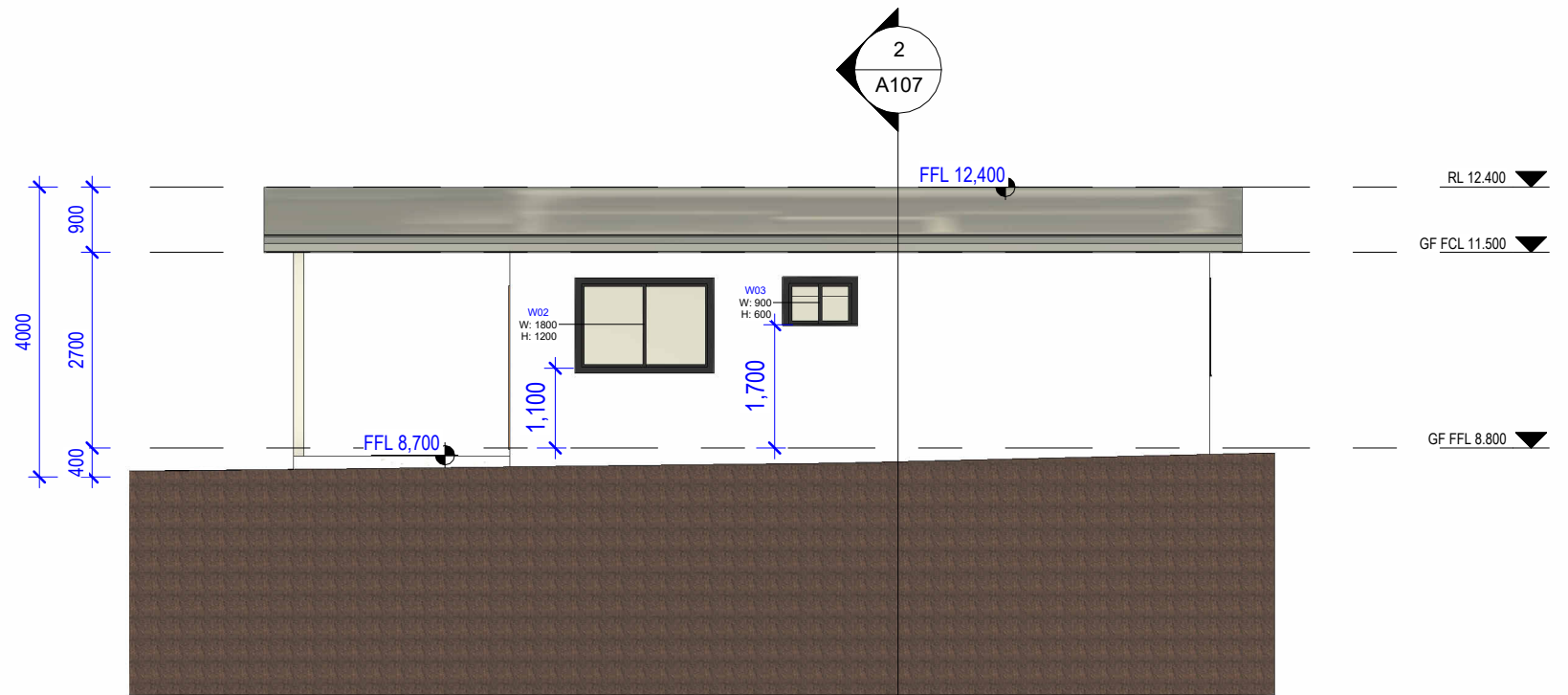




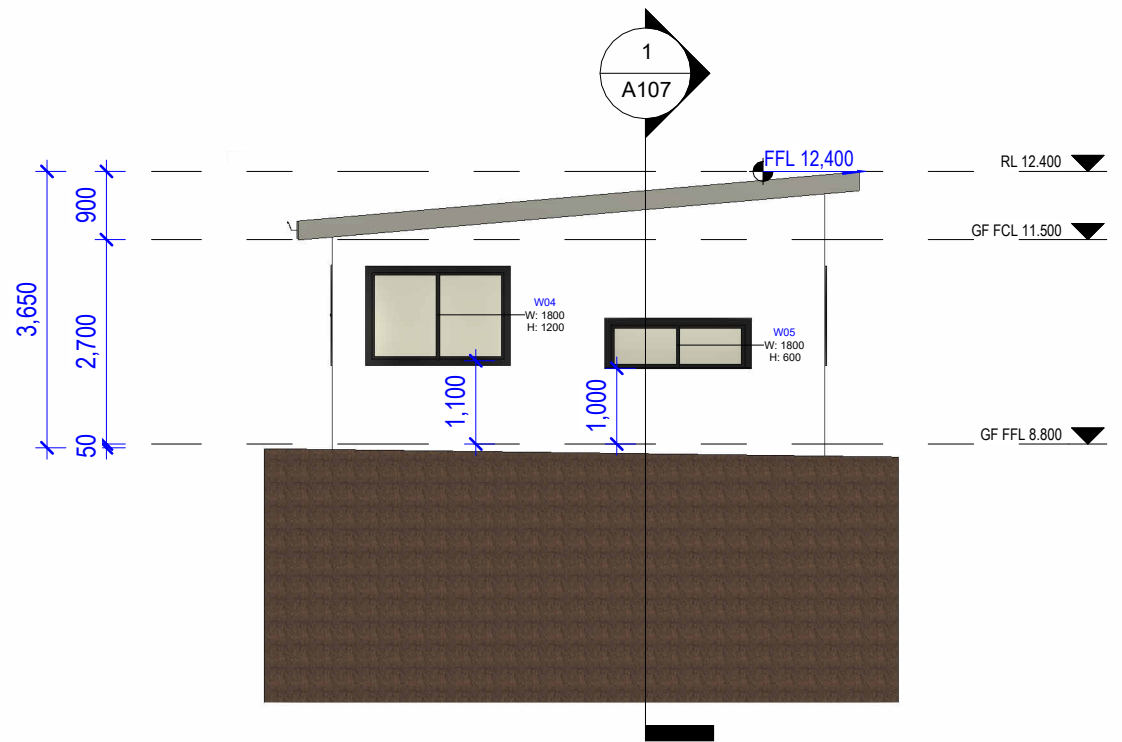
1 EAST ELEVATION
1:100



3 SOUTH ELEVATION

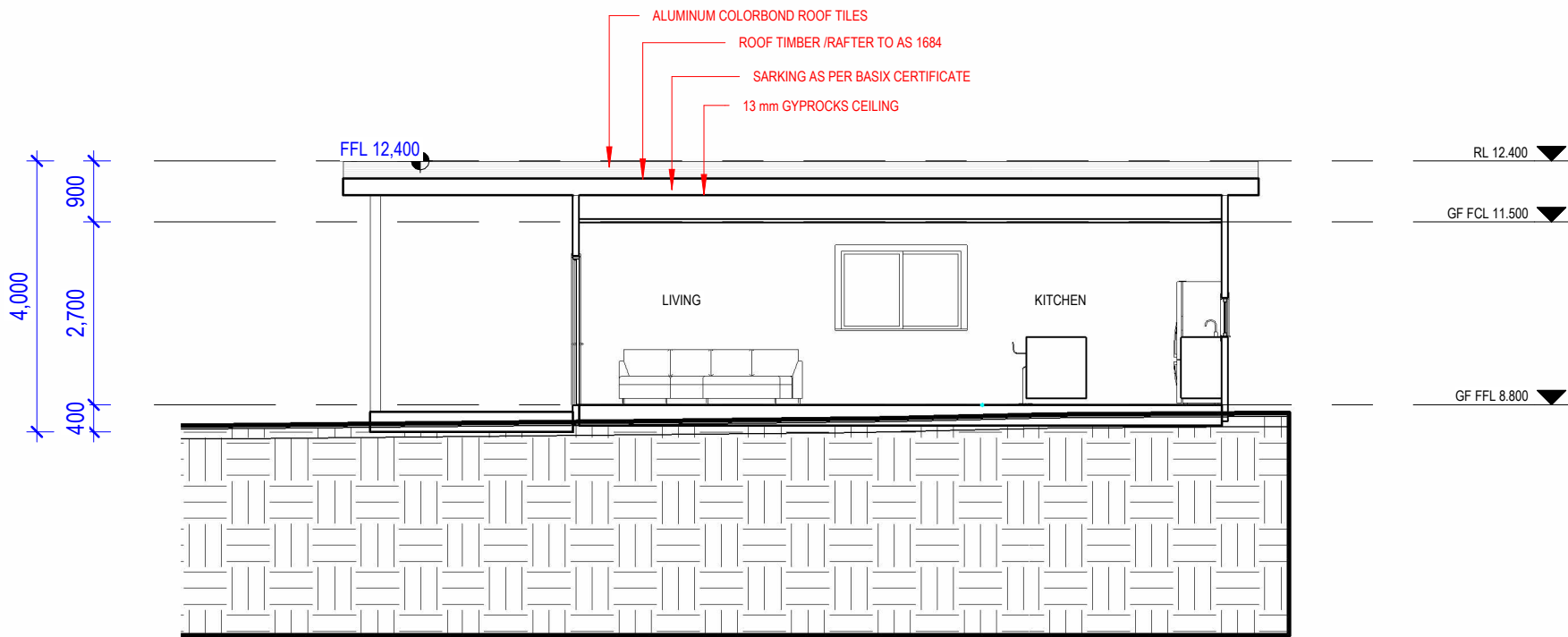


2 NORTH ELEVATION
1 : 100



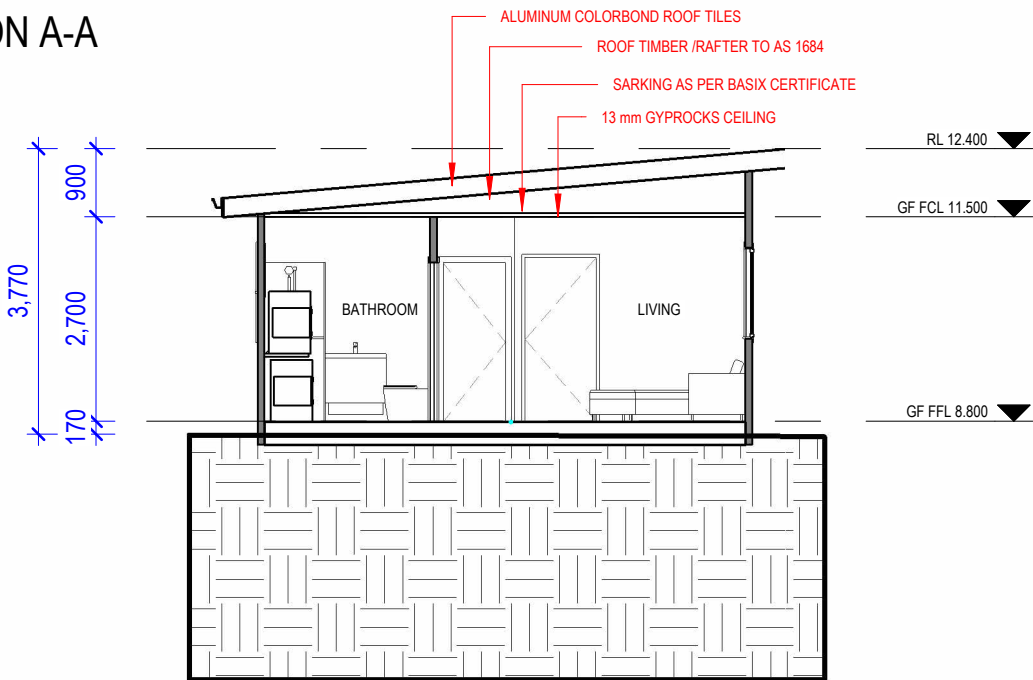
4 WEST ELEVATION
1 : 100





1 SECTION A-A

1 : 100



2 SECTION B-B

1 : 100

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48 SECOND AVENUE, CAMPSIE

PROPOSED SECOND DWELLING

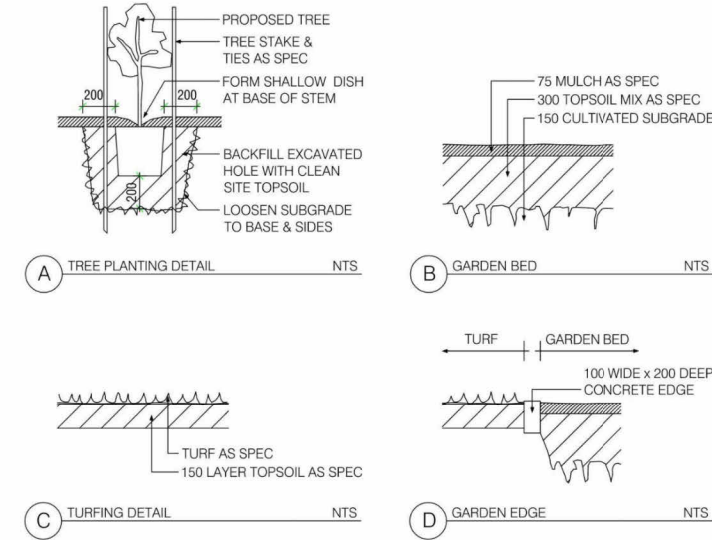
Owner

DESIGNED BY: H.H

SECTIONS

PROJECT NUMBER	Project Number	A107
DATE	Issue Date	
CHECKED BY	A.E	ISSUE: A
DRAWN BY	H.H	SCALE 1 : 100





NOTES AND SPECIFICATIONS

EXCAVATIONS
Prior to carrying out any excavations, the contractor is to confirm the locations of all services. Service pits and lids are not to be covered by any materials. Trim and grade area to form a smooth even finish.

GARDEN BED / MULCH
The topsoil to all garden bed areas shall be four (4) parts site topsoil to one (1) part organic compost thoroughly blended together prior to placing into position. Where the site topsoil is considered not suitable, an imported topsoil blend meeting the requirements of AS4419-1998 shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas in deep soil to be 300mm (min). At the completion of all planting operations apply a 75mm layer of mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form “watering dish”. Mulch used shall be Pine Bark Nuggets as supplied by ANL or similar. All proposed planting is subject to suitable topsoil depths on site. Where there is insufficient depth due to presence of bedrock or other structures, the proposed planting is to be modified to suit in accordance with instructions from landscape architect.

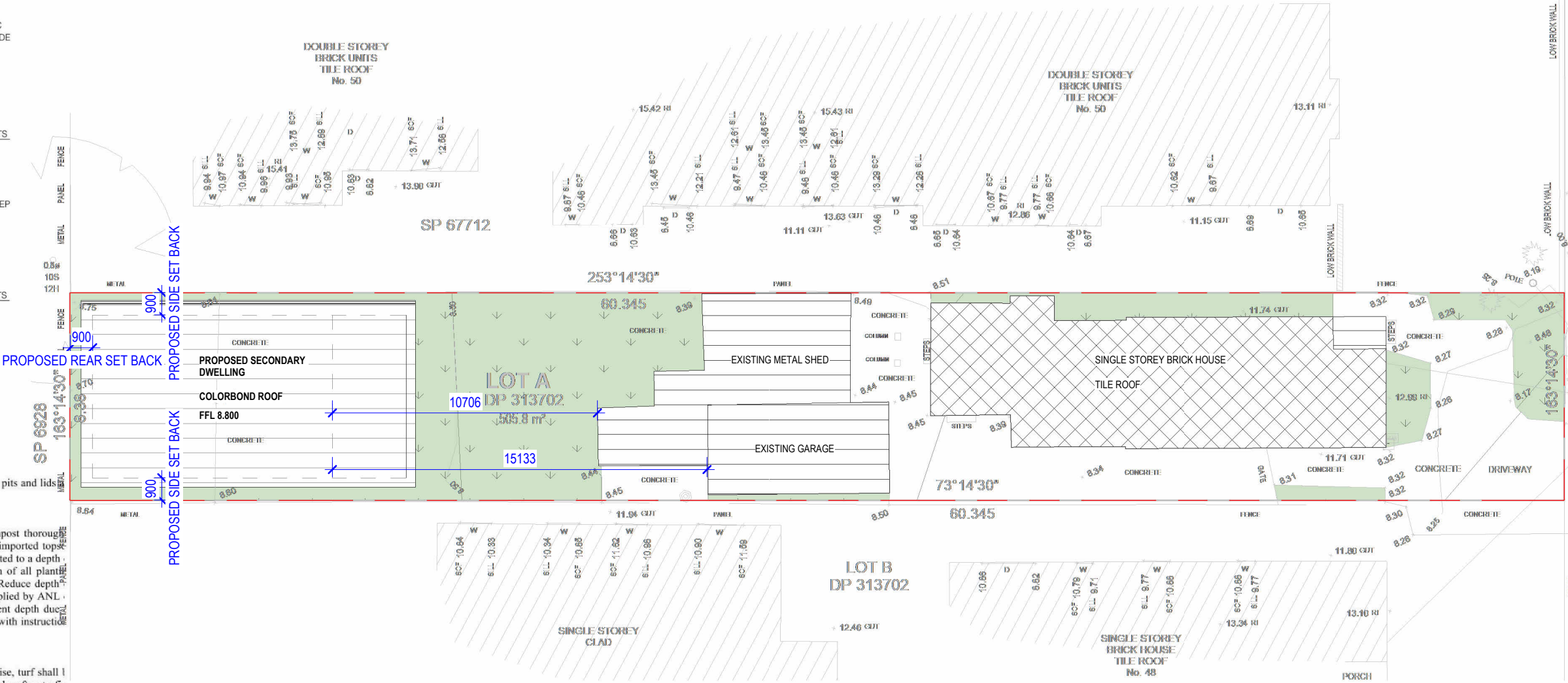
TURF / GARDEN EDGING
Turf used for this site shall be Sir Walter Buffalo or similar soft leaf variety. Unless specified otherwise, turf shall be laid over 150mm topsoil and finished flush with adjacent surfaces. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand. All garden edging as denoted by ‘GE’ on the plan is to be constructed as per detail.

PLANT MATERIAL
The plants are to be healthy nursery stock, free from disease, injury, insects and all weeds or roots of weeds. All plants are to be thoroughly soaked 1 hour prior to planting. All plants delivered for use on site shall be fully acclimatized to prevailing local Sydney conditions.

EXISTING TREES TO BE RETAINED
The existing trees indicated for retention shall be protected for the duration of the construction period. Install a 1.8m high temporary protective fence (TPF) to the locations as indicated on the plan. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do not attach stay guys and the like to a tree which is to be retained. Where it is absolutely necessary to prune tree roots / limit contractor to ensure all Council approvals have been obtained. All tree work is to be carried out by a qualified and insured arborist. Where an arborist report has been prepared for the existing tree on site; The landscape plan shall be read in conjunction with this report. All trees identified for retention shall be protected and managed in accordance with recommendations of this report. These recommendations will take precedence over any measures outlined in the landscape plan.

MAINTENANCE / ON GOING CARE
Maintain all landscape areas to ensure plant health and occupant safety for period of 12 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the following activities: Mowing and edging lawn areas, fertilizing all plant material, pruning, watering, replacing failed plant material, treating for pests and diseases, topping up of mulch areas and weeding garden beds as required. On completion of the initial 12 month period, all maintenance responsibilities shall be handed over to building management / property owner for on-going care. Note: All trees will require ongoing annual observation and maintenance by qualified arborist to ensure occupant safety, tree health and to avoid damage to surrounding structures and property.

DISCREPANCIES
Should there be any discrepancies on the drawings with existing site conditions; contractor is to notify the landscape architect prior to proceeding with the works.



1 LANDSCAPE PLAN SURFACE TREATMENT LEGEND

1 : 200

STF	Synthetic Turf
TF	Turf
GE	Garden Edge (to detail)
CL	Clothes Lines (to client requirements)
CB/TP	Colorbond / Timber Paling (1.8 high)
T	Tile (to client requirements)
RWT	Rainwater Tank (to Engineers Specifications)
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal/gunmetal)
DGR	Decomposed Granite finish
TPF	Temporary Protection Fence (1.8m chainmesh)
GVL	Gravel Surface / Path (Nepean River Pebble)
TD	Timber Deck
CP	Concrete Path
B	Bench Seat
BT	Table Bench Seating

	LANDSCAPED AREA
	EXISTING HOUSE
	PRIVATE OPEN SPACE

Landscaped Area Calculation

Site Area	Required Area 20%	Proposed Area 20%
505.8m²	101.16m²	101.6m²



GENERAL NOTES:
-Figured dimensions & larger scale drawings shall be taken in preference to scaled readings.
-check all dimensions and levels on site before commencement of work or ordering materials.
-All workmanship and materials shall comply with all relevant codes, ordinances, Australian standards and manufacturers's instructions.
-All discrepancies shall be brought to the attention of AKT Engineering & Consulting P/L.
-Copyright of the materials shown hereon & in the accompanying CAD files/drawing sheets vests with AKT Engineering & Consulting P/L.
-AKT Engineering & Consulting P/L warrants only the original Architectural data as retained by the company.
The Data files are not to be altered without the written approval of AKT Engineering & Consulting P/L.
-The responsibility of AKT Engineering & Consulting P/L is removed if these conditions are not observed.

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48 SECOND AVENUE, CAMPSIE

PROPOSED SECOND DWELLING

Owner
DESIGNED BY: H.H

LANDSCAPE PLAN

PROJECT NUMBER	Project Number	A108
DATE	Issue Date	
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DRAWN BY	H.H	SCALE As indicated



POWDER COATING ALUMINUM
IN MONUMENT COLOR



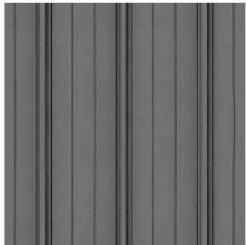
WHITE WEATHERBOARDS

WINDOW FRAME



POWDER COATING
ALUMINUM IN
MONUMENT COLOR

ROOF SHEET



COLORBOND -
MONUMENT METAL
ROOF SHEET

FEATURED WALL



WHITE WEATHERBOARDS

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48 SECOND AVENUE, CAMPSIE	
PROPOSED SECOND DWELLING	
Owner	
DESIGNED BY:	H.H

SCHEDULE OF FINISHES			
PROJECT NUMBER	Project Number	A109	
DATE	Issue Date		
CHECKED BY	A.E	ISSUE:	
DRAWN BY	H.H	SCALE	



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ACCREDITED
BUILDING DESIGNER

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	48 SECOND AVENUE, CAMPSIE
	PROPOSED SECOND DWELLING
	Owner
	DESIGNED BY: H.H

PROJECT NUMBER	Project Number	A110	
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